

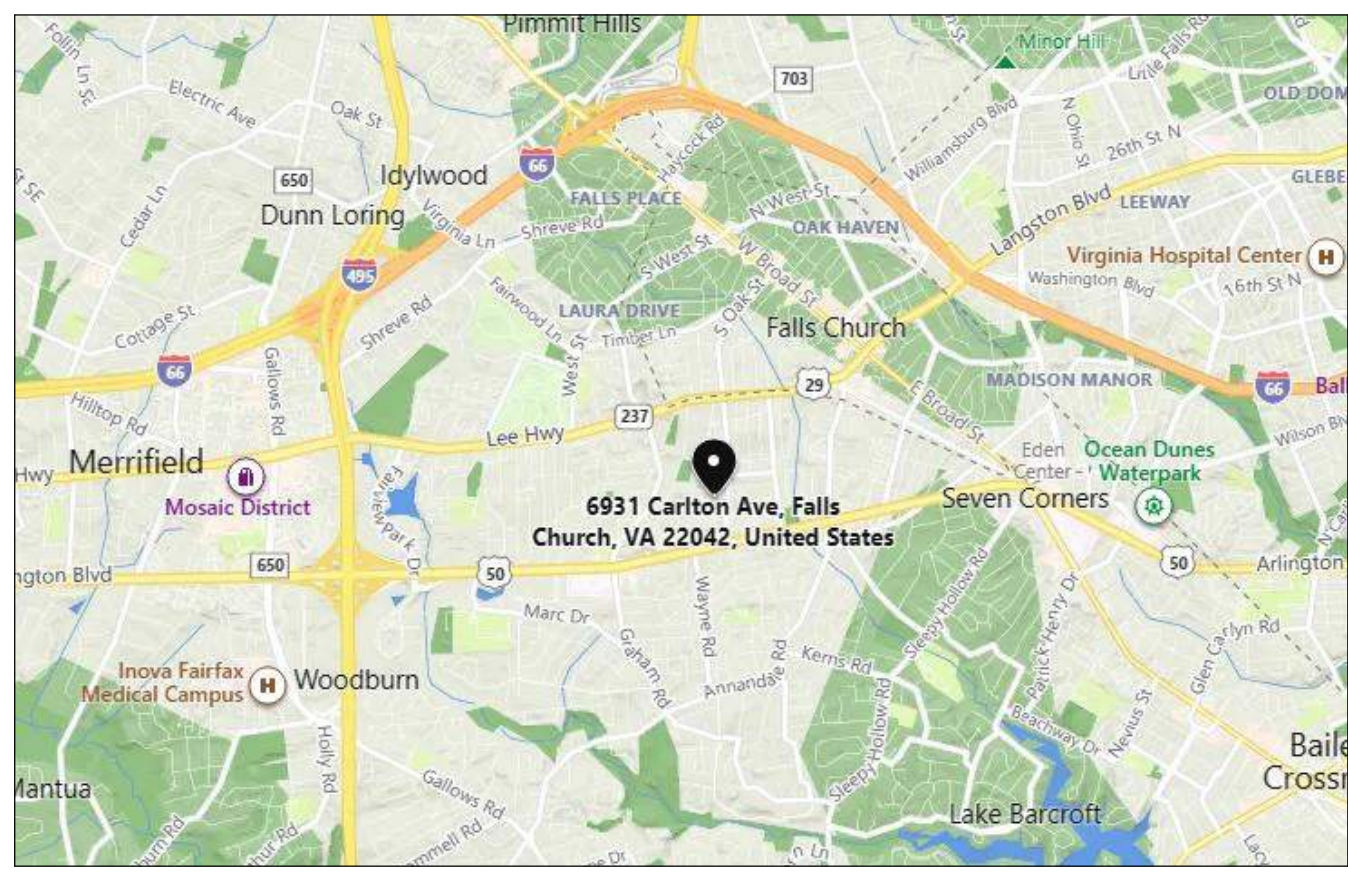


DORMER & DECK ADDITION

6931 CARLTON AVE.
FALLS CHURCH, VA 22043

PROJECT NARRATIVE	GENERAL NOTES CONTINUED	SHEET INDEX																				
<p>The project consists of the following Summary of Work:</p> <ul style="list-style-type: none"> - Demolition of the existing roof structure over existing rear addition. - Demolition of existing rear deck. - Construction of a new screened porch at the rear of the structure. - Construction of a new shed roof over the new deck and existing rear addition. - Construction of a new shed dormer at the 2nd floor rear of the existing structure. - Rework the existing portico. 	<p>The Architect/Engineer will not be responsible for, and will not have control over construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the work, and will not be responsible for the failure of the client or his contractors, subcontractors, or anyone performing any of the work, to carry out the work in accordance with the approved contract documents.</p> <p>The drawings and specifications, as instruments of service, are exclusive property of the Architect/Engineer whether the project for which they were prepared is executed and constructed or not. These documents are not to be reproduced in any form and they are not to be used by the client nor any other entity on any other projects or for any extensions or additions or alterations to the original project except by written authorization and permission from and agreement with the Architect/Engineer.</p> <p>Contractor shall furnish to the Architect/Engineer shop drawings of all the prefabricated components with one set being retained by the Architect/Engineer. Items requiring shop review include, but are not limited to roof trusses, floor trusses and stairs. Should the design or configuration of any prefabricated components be modified during construction from previously approved shop drawings, the Architect/Engineer shall be furnished, prior to the fabrication, with revised shop drawings incorporating the revision. If the Architect/Engineer is not provided with the above information, the Client shall defend, indemnify, and hold harmless the Architect/Engineer from any claim or suite whatsoever, including but not limited to all payments, expenses, costs included, arising or alleged to have arisen from prefabricated items.</p> <p>Contractor must comply with rules and regulations of agencies having jurisdiction and shall conform to all city, county, state and federal construction, safety and sanitary laws, codes, statutes and ordinances.</p>	<table border="1"> <thead> <tr> <th>LABEL</th> <th>TITLE</th> </tr> </thead> <tbody> <tr> <td>CS-001</td> <td>COVER SHEET</td> </tr> <tr> <td>A-001</td> <td>EXISTING FLOOR PLAN</td> </tr> <tr> <td>A-002</td> <td>NEW FLOOR PLAN</td> </tr> <tr> <td>A-003</td> <td>NEW FLOOR PLAN</td> </tr> <tr> <td>A-004</td> <td>ELEVATIONS</td> </tr> <tr> <td>S-001</td> <td>STRUCTURAL PLAN</td> </tr> <tr> <td>S-002</td> <td>STRUCTURAL PLAN</td> </tr> <tr> <td>S-003</td> <td>SECTION DETAILS</td> </tr> <tr> <td>S-004</td> <td>STRUCTURAL NOTES</td> </tr> </tbody> </table>	LABEL	TITLE	CS-001	COVER SHEET	A-001	EXISTING FLOOR PLAN	A-002	NEW FLOOR PLAN	A-003	NEW FLOOR PLAN	A-004	ELEVATIONS	S-001	STRUCTURAL PLAN	S-002	STRUCTURAL PLAN	S-003	SECTION DETAILS	S-004	STRUCTURAL NOTES
LABEL	TITLE																					
CS-001	COVER SHEET																					
A-001	EXISTING FLOOR PLAN																					
A-002	NEW FLOOR PLAN																					
A-003	NEW FLOOR PLAN																					
A-004	ELEVATIONS																					
S-001	STRUCTURAL PLAN																					
S-002	STRUCTURAL PLAN																					
S-003	SECTION DETAILS																					
S-004	STRUCTURAL NOTES																					
<h3>GENERAL NOTES</h3> <p>The following notes shall apply to all drawings made as part of the Contract for construction for this project, including those drawings listed on the INDEX on this sheet:</p> <p>Where discrepancies exist between the standard comments, notes from the design professional or the code, the most restrictive shall apply. All construction shall comply with the 2018 International Residential Code (as amended by the State of Virginia).</p> <p>All mechanical, electrical and plumbing work shall meet or exceed the requirements of the 2018 International Residential Code (as amended by the State of Virginia) or any reference codes and standards considered as part of the 2018 International Residential Code (as amended by the State of Virginia).</p> <p>All plumbing work shall be inspected by any local or state building official having jurisdiction.</p> <p>All electrical work shall be inspected and approved by a licensed underwriter official.</p> <p>All heating equipment and installation shall meet the requirements of the 2018 International Energy Conservation Code (as amended by the State of Virginia).</p> <p>Contractors on the job must check all dimensions and details and must be responsible for same.</p> <p>Intent: Contractors shall hold to the intent of the drawings and shall not change without approval of the licensed engineer/architect and/or the owner.</p> <p>It is the intent of the drawings to call for a complete and finished work, tested guaranteed, and ready for occupancy.</p> <p>The work shall include all misc. items and auxiliaries regardless of whether specifically call for on the drawings.</p> <p>All exterior and interior finishes to be selected or approved by the owner.</p> <p>Contractors are to determine and comply with the manufacturer's recommendations on product and equipment handling, storage and installation.</p> <p>Contractors are to protect new finished surfaces and installed equipment as required until the project is finished.</p> <p>The contractor shall clean debris resulting from his/her work so as not to create a safety hazard.</p> <p>Construction shall conform to all state and local building codes.</p> <p>Plans shall not be scaled for dimension reference. Written dimension lines and notes shall take precedence over scaled dimensions.</p> <p>The local building code enforcement officer shall approve site required completion of fire rated assemblies above ceilings & under floors, field installed handrails & all work done on site.</p> <p>All string dimensions are from centerline of column or beam and interior walls to face of stud or inside CMU on exterior wall unless otherwise noted, and are based on nominal sizes of materials. Contractor shall verify dimensions prior to construction.</p> <p>On-site verification of all dimensions and conditions shall be the responsibility of the general contractor and his subcontractor(s). Contractor to inform Engineer/Architect of conditions which may substantially affect the construction as shown.</p> <p>Architectural drawings and specifications shall be considered as part of the conditions for work. In the event that certain features of the construction are not fully shown on the drawings, current national, state and local codes, ordinances, regulations or agreements, as well as current acceptable building practices shall govern, and their construction shall be of the same character that is shown or noted.</p>	<h3>DESIGN DATA</h3> <p>These plans conform to Chapter 11 of the 2018 International Residential Code using the Prescriptive Approach for Energy Code Compliance:</p> <p>FENESTRATION U FACTOR = 0.32 MAX SKYLIGHT U FACTOR = 0.55 MAX SHGC = 0.40 MAX</p> <p>CEILING R-VALUE = 49 Ceilings with Attic Spaces = R-38 AS PER N1102.2.1 Ceilings without Attic Spaces = R-30 AS PER N1102.2.2</p> <p>WOOD FRAMED WALL R-VALUE = 13+1 c.i. or 15 MASS WALL R-VALUE = 8 / 13 FLOOR R-VALUE = 19 BASEMENT WALL R-VALUE = 10/13 SLAB-ON-GRADE R-VALUE = 10 for unheated slab over 2-foot depth CRAWLSPACE WALL R-VALUE = 10/13 CONFORMANCE TO TABLE N1102.4.1.1 OF THE IRC FOR AIR BARRIER AND INSULATION INSPECTION COMPONENT CRITERIA</p>	<h3>PERSPECTIVE OVERVIEW</h3>  																				
	<h3>VICINITY MAP</h3> 																					



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DORMER & DECK ADDITION

6931 CARLTON AVE.
FALLS CHURCH, VA 22043

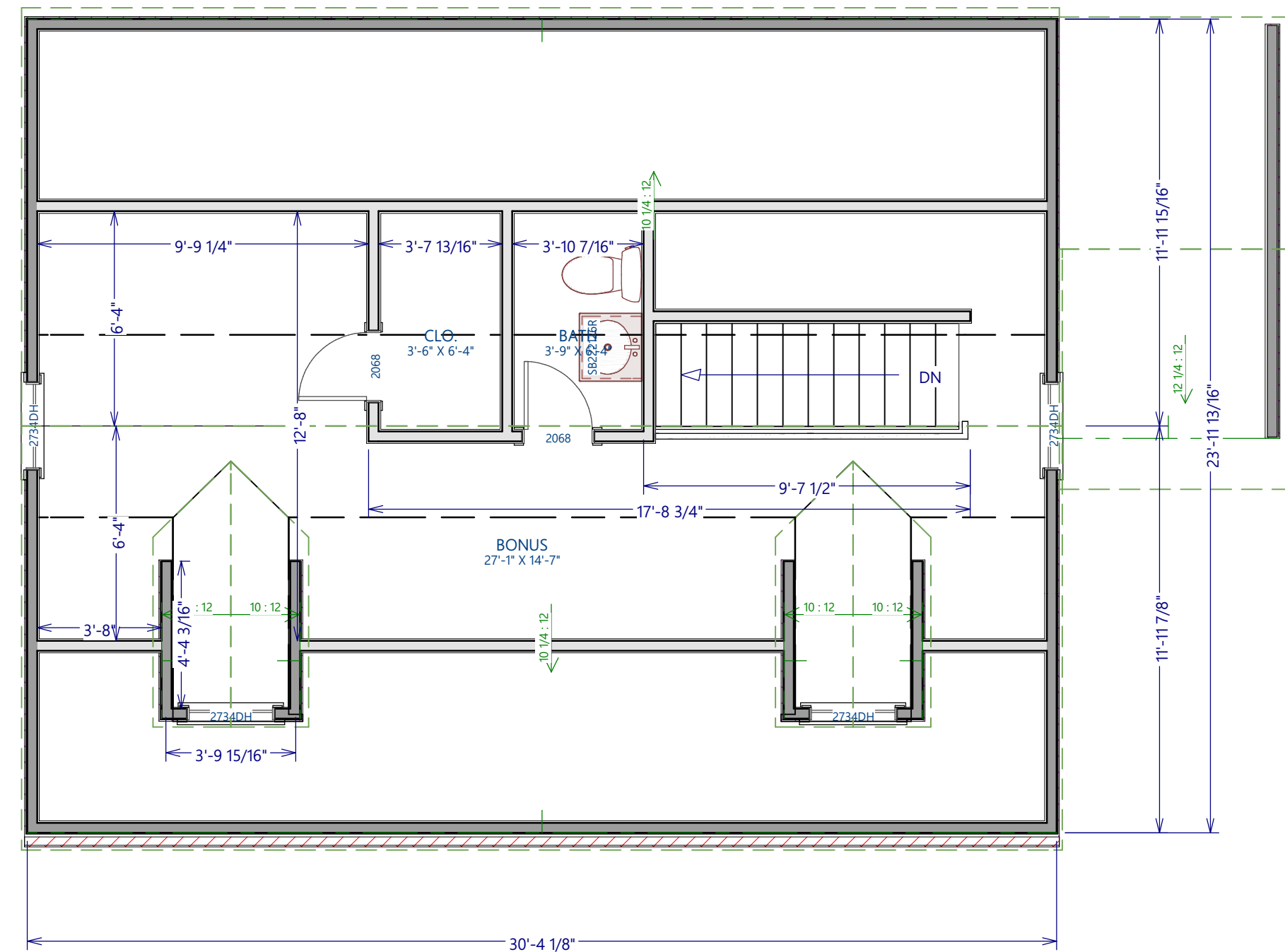
Contractor Information
Urban Cottage
Urbancottagedesign2018@gmail.com

REVISION	DATE	COMMENT
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2	12-6-22	PRELIM 2
3	12-18-22	PERMIT

DATE
12/27/2022

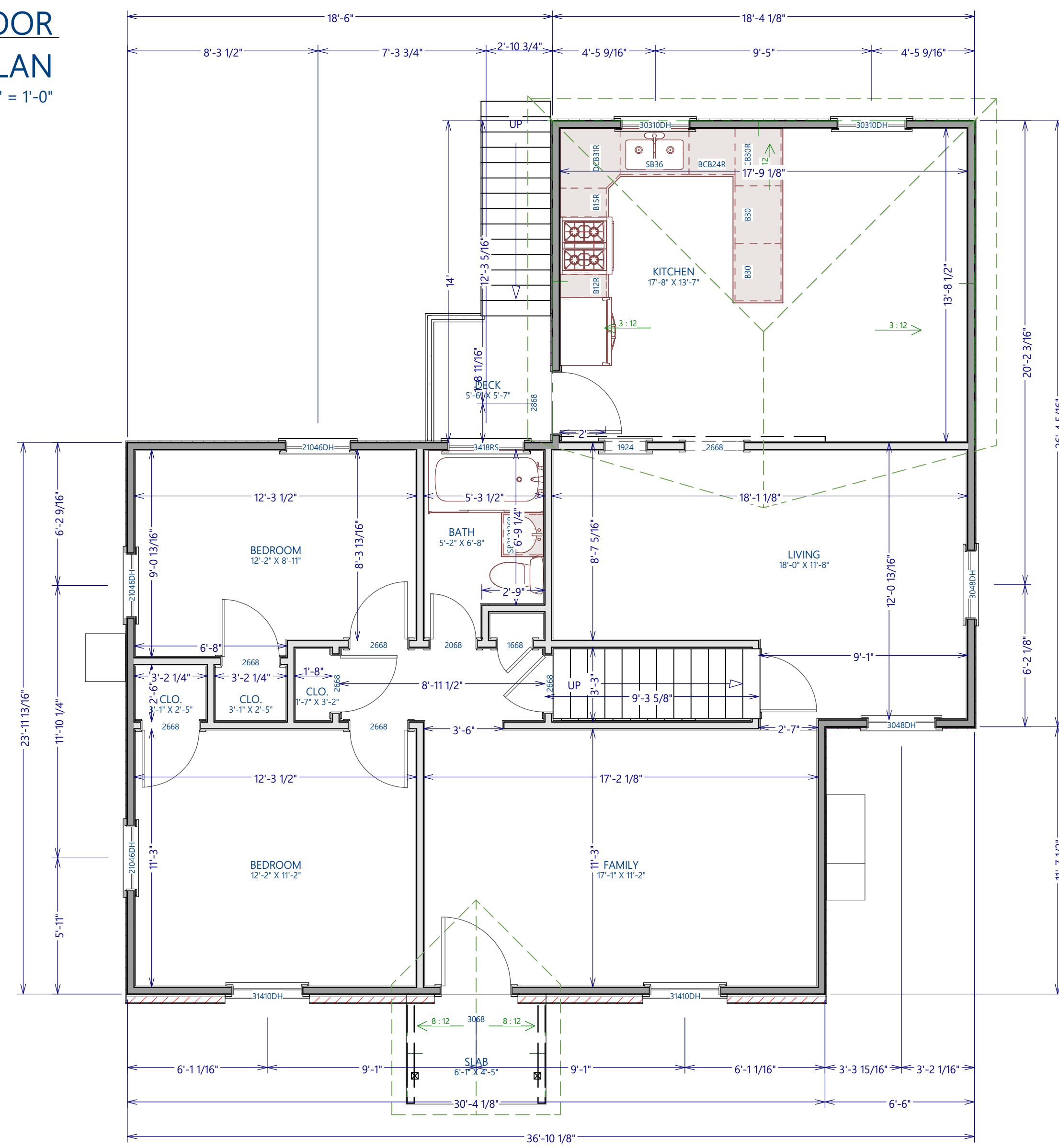
SHEET
COVER SHEET

CS - 000



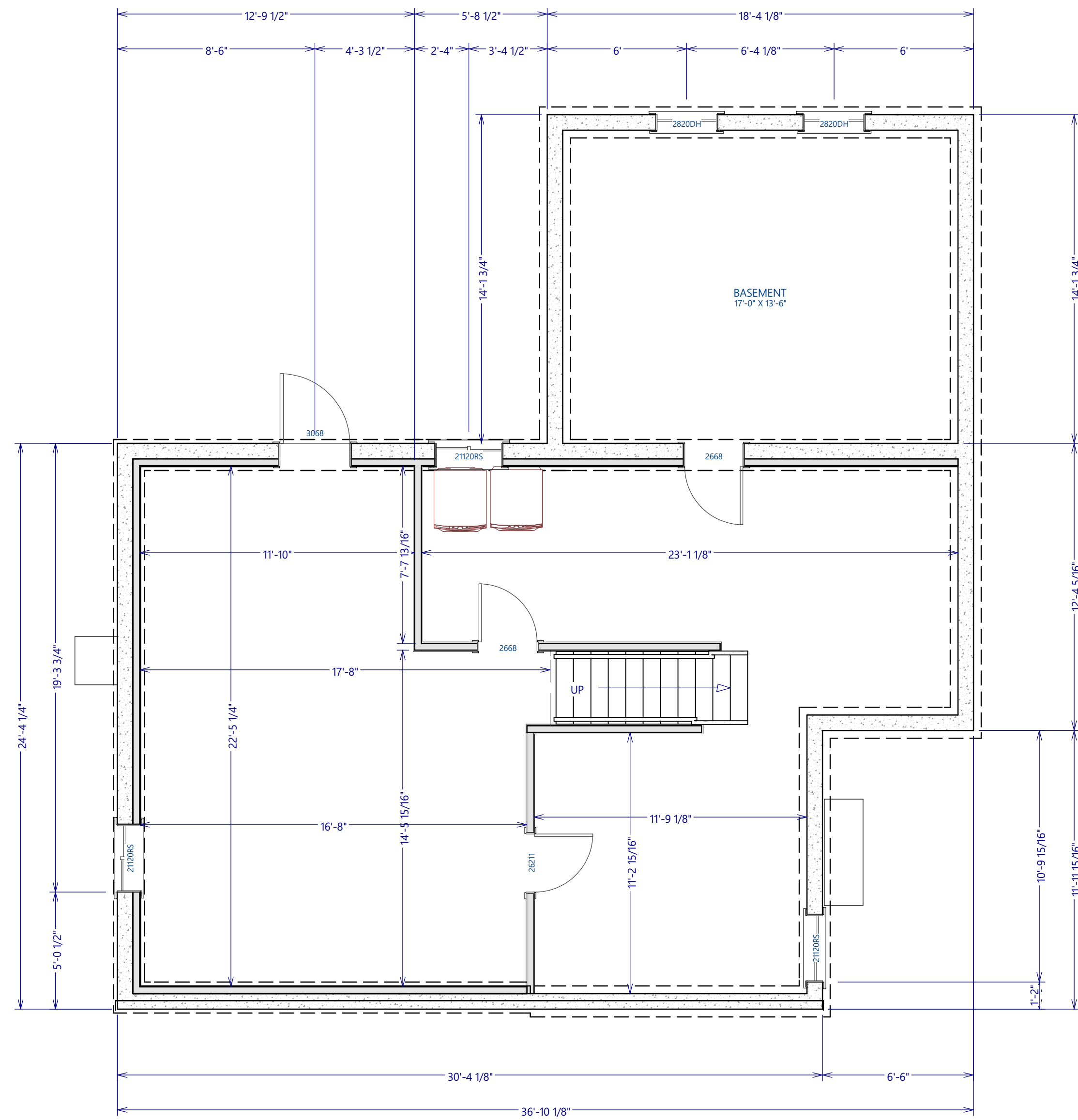
2
A - 001

EXISTING SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



2
A - 001

EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



1
A - 001

EXISTING FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



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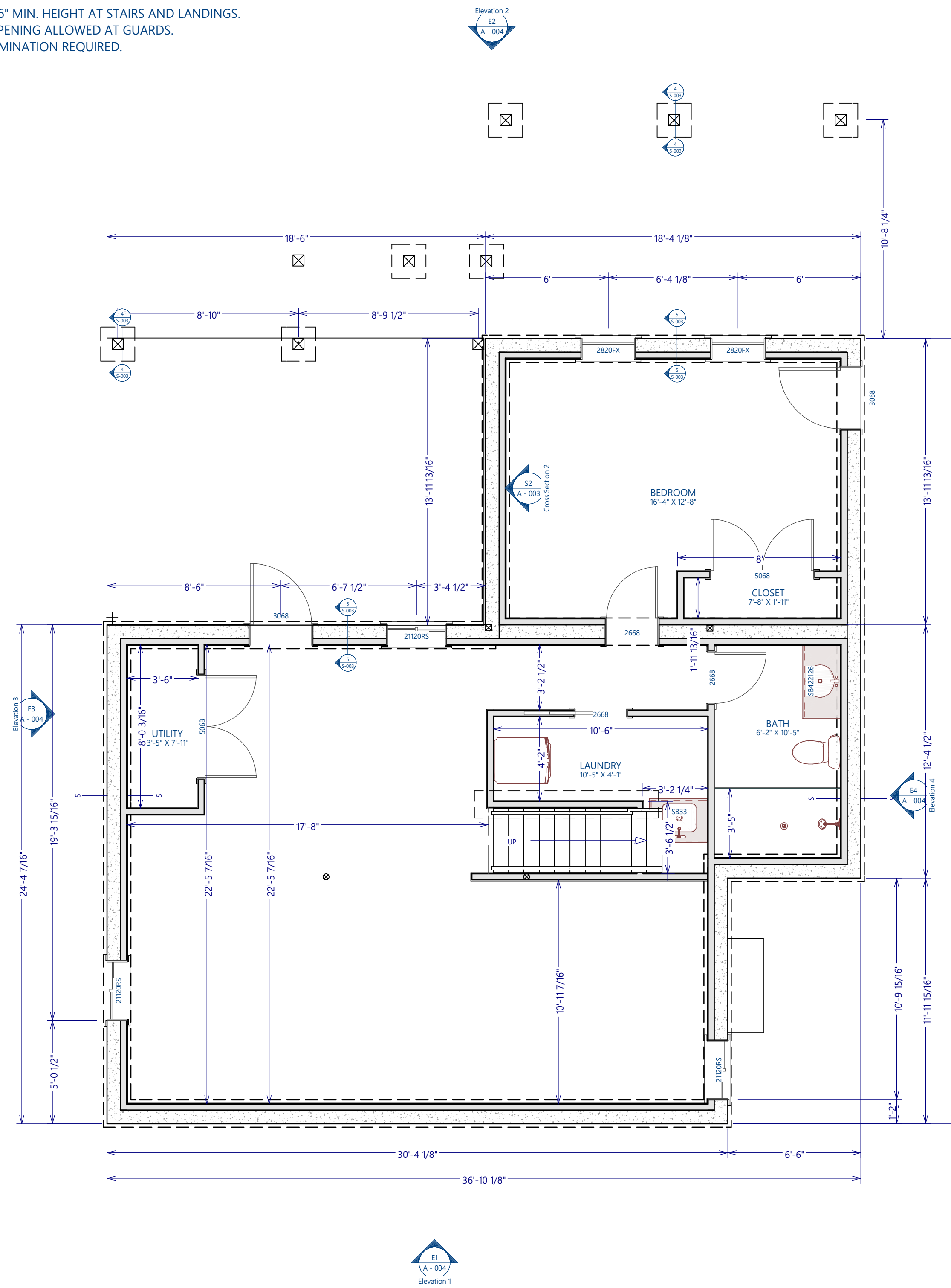
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12/27/2022

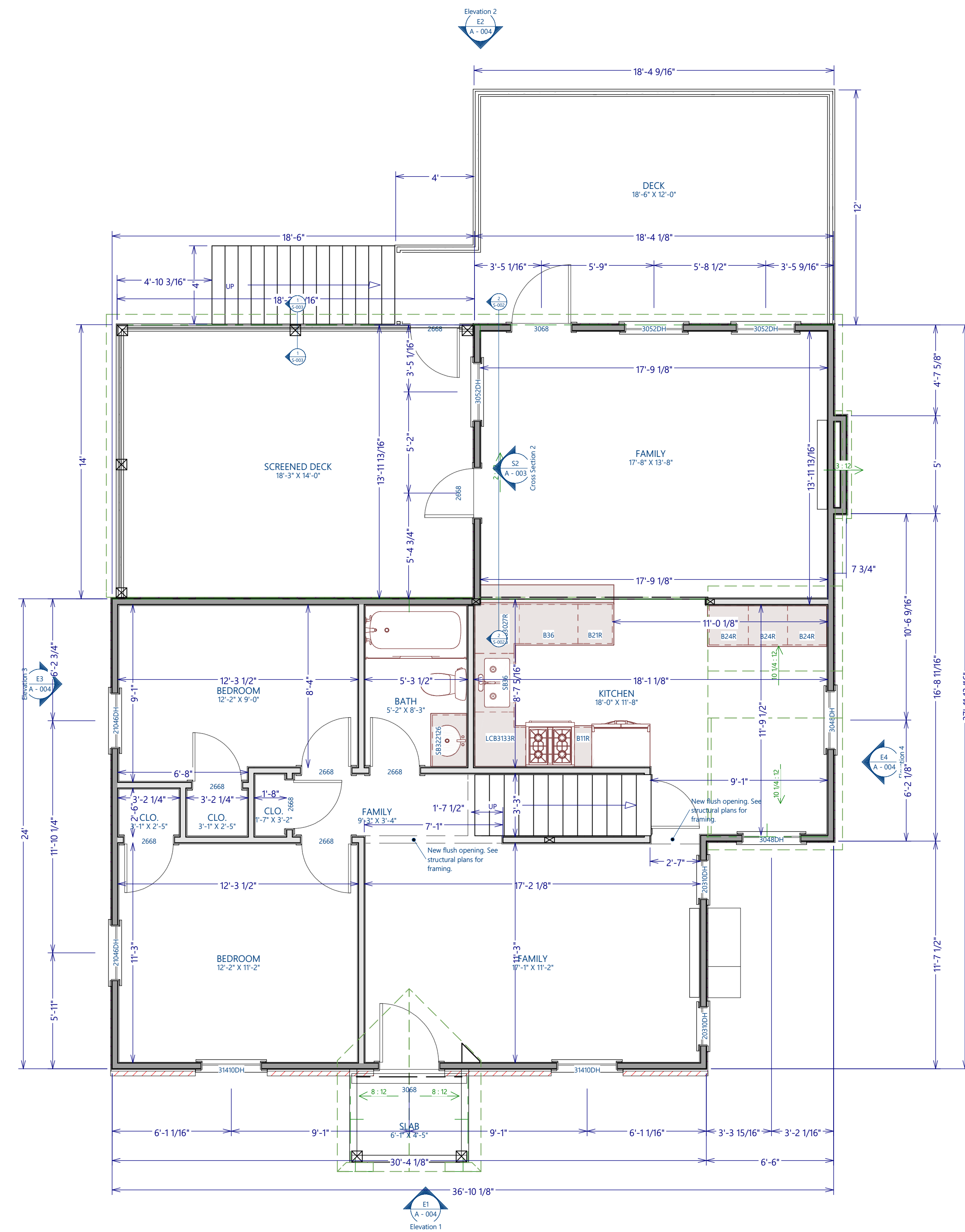
SHEET
EXISTING FLOOR PLANS

A - 001

- STAIR NOTES**
1. TREADS 9" MIN.
 2. RISERS 8.25" MAX.
 3. WIDTH 36" MIN.
 4. HEAD CLEARANCE 6'-8" MIN.
 5. HANDRAILS REQUIRED WITH 4 OR MORE RISERS AT 34" TO 38" ABOVE NOSING
 6. GUARDS REQUIRED IF MORE THAN 30" ABOVE GRADE OR FLOOR.
 7. GUARDS 36" MIN. HEIGHT AT STAIRS AND LANDINGS.
 8. 4" MAX. OPENING ALLOWED AT GUARDS.
 9. STAIR ILLUMINATION REQUIRED.



1 FOUNDATION FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



NACHMAN DESIGN
3805 ROGERS DRIVE
FALLS CHURCH, VA 22042

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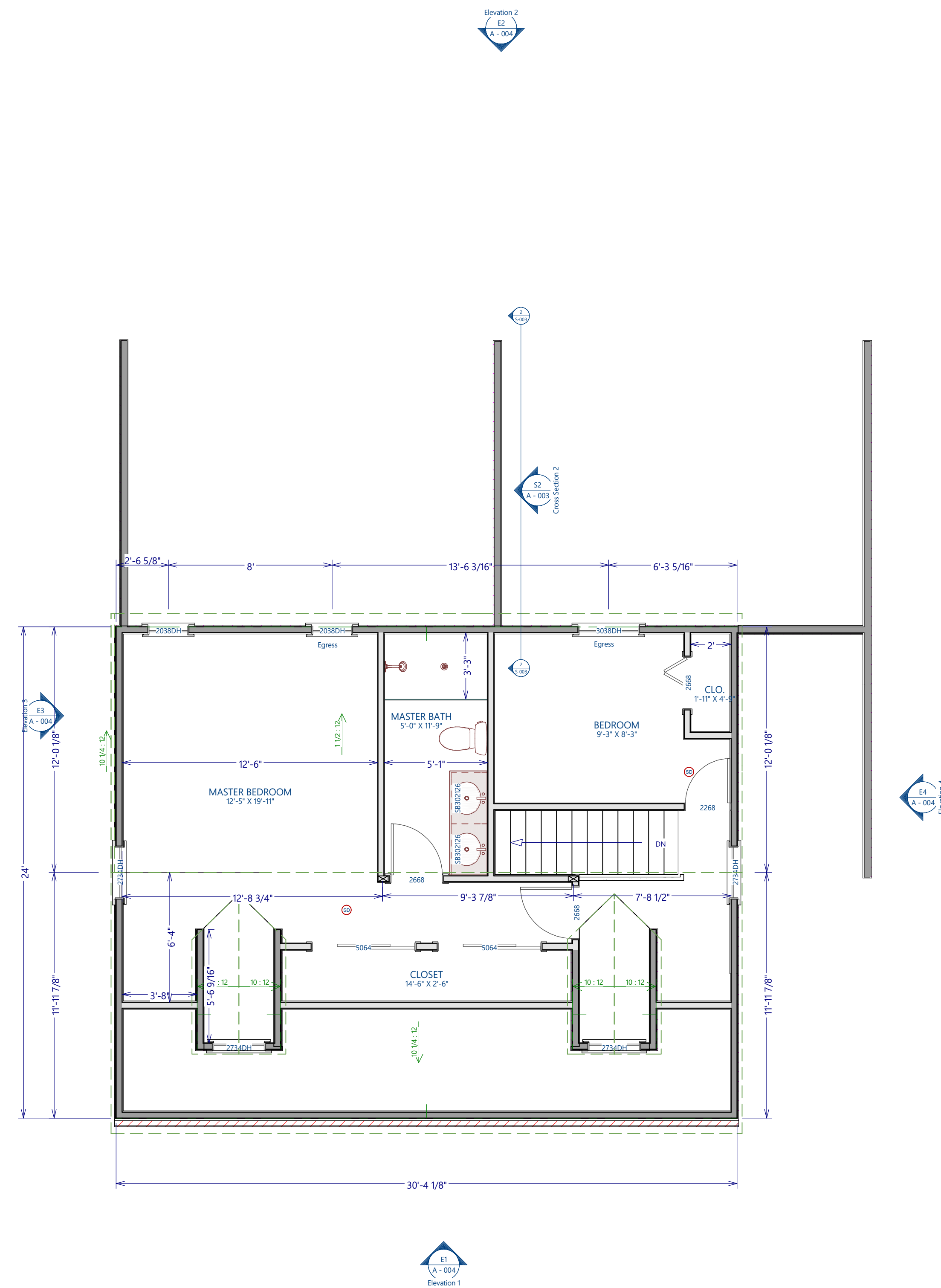
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Urbancottagedesign2018@gmail.com

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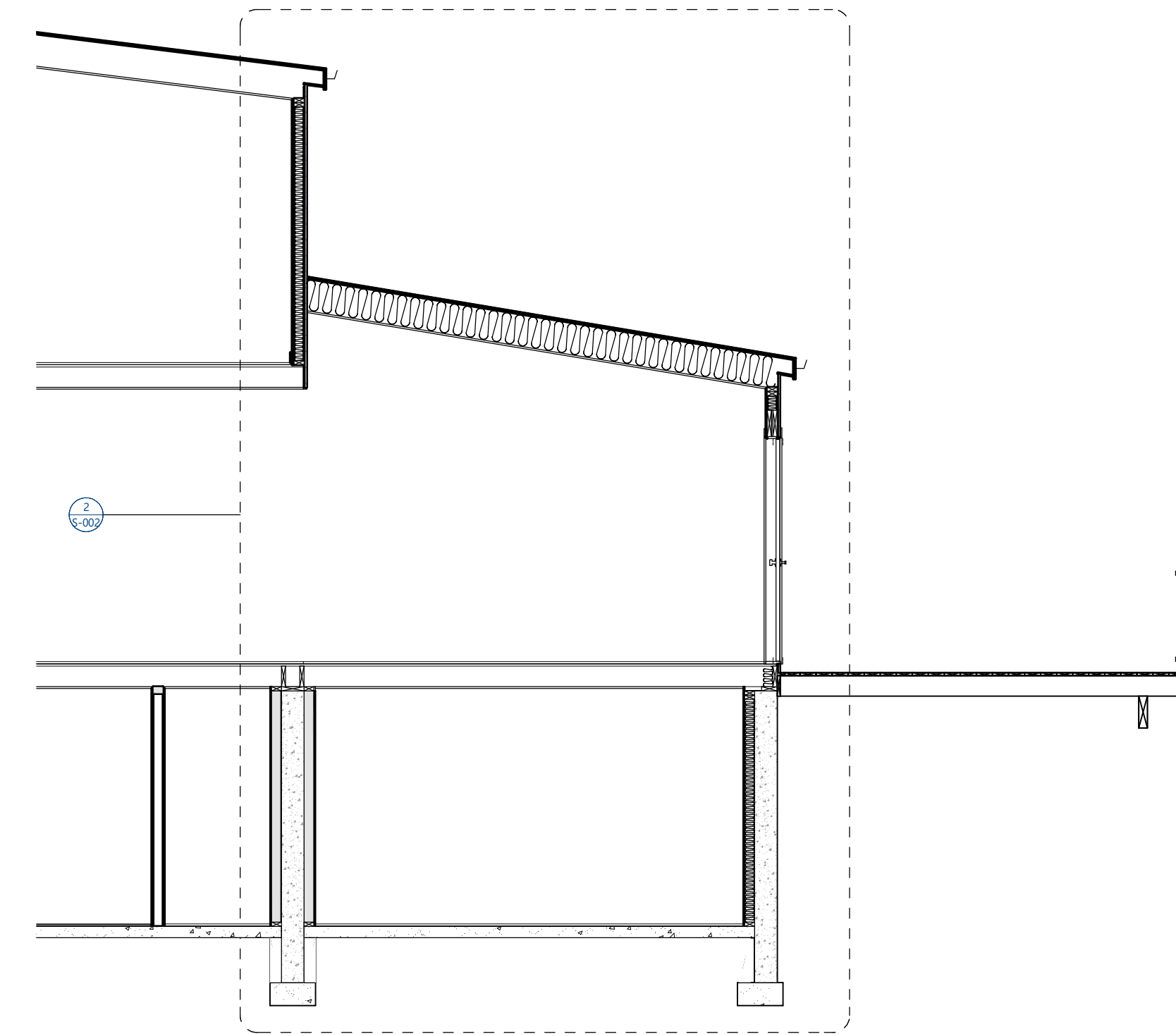
DATE
12/27/2022

SHEET
FLOOR PLANS

A - 002



1
A - 003
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



S-1
A - 003
SECTION S-1
SCALE: 1/4" = 1'-0"



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DORMER & DECK ADDITION

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DATE
12/27/2022

SHEET
FLOOR PLANS

A - 003



E1
A - 004 **FRONT ELEVATION**
SCALE: 1/4" = 1'-0"



E3
A - 004 **LEFT SIDE ELEVATION**
SCALE: 1/4" = 1'-0"



E2
A - 004 **REAR ELEVATION**
SCALE: 1/4" = 1'-0"



E4
A - 004 **RIGHT SIDE ELEVATION**
SCALE: 1/4" = 1'-0"



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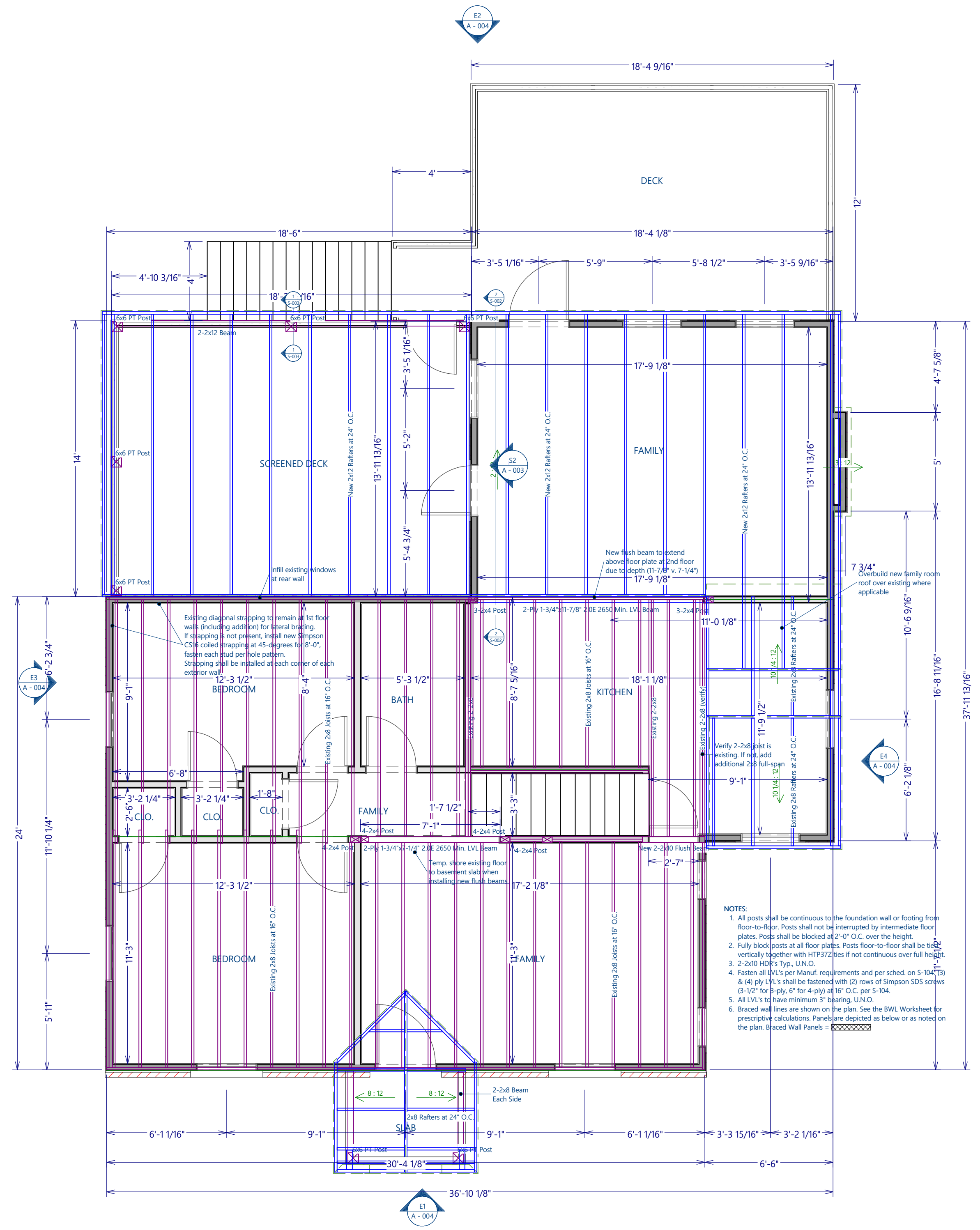
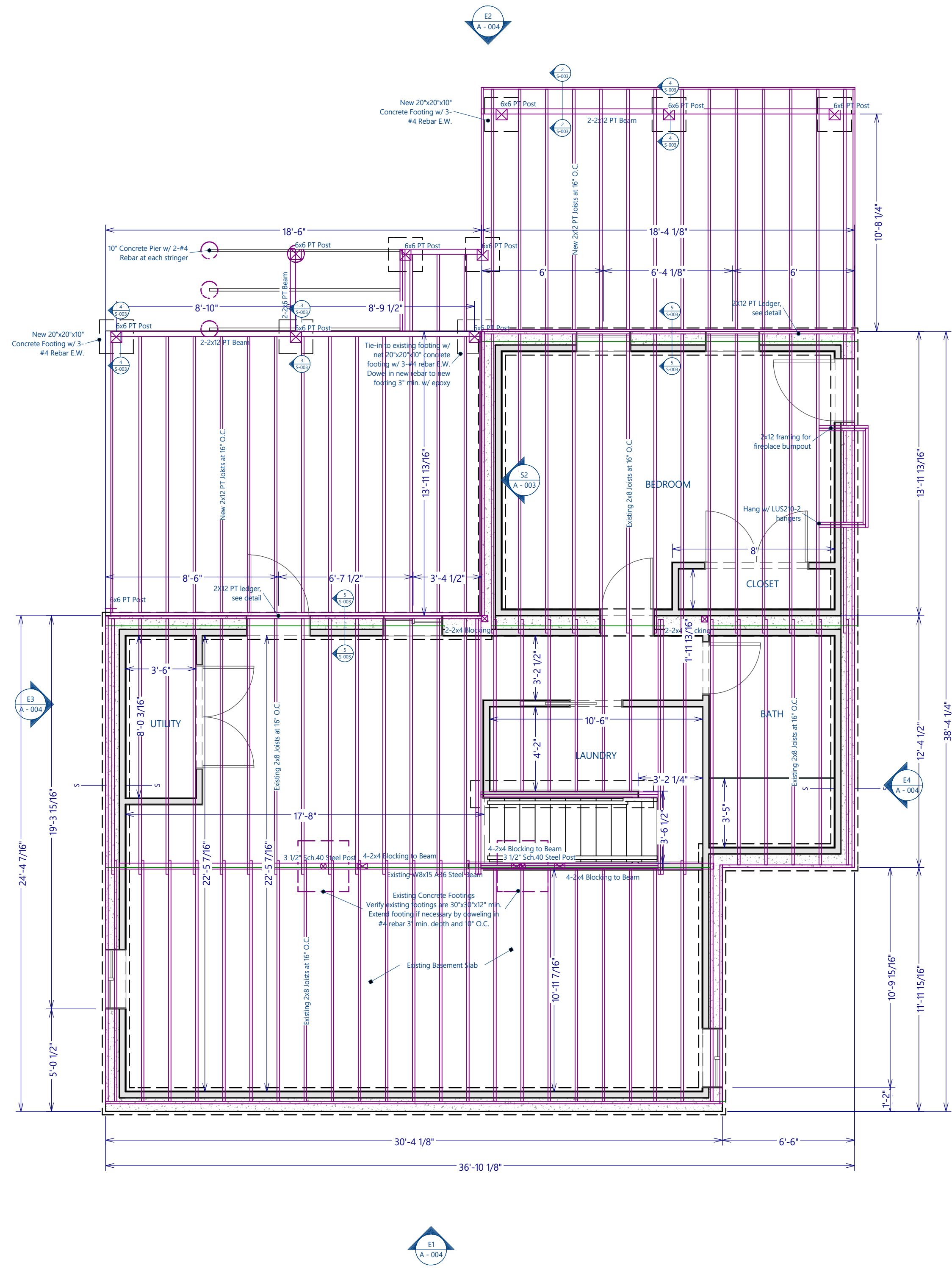
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DATE
12/27/2022

SHEET
ELEVATIONS

A - 004



- NOTES:
- All posts shall be continuous to the foundation wall or footing from floor-to-ridge. Posts shall not be interrupted by intermediate floor plates. Posts shall be blocked at 2'-0" O.C. over the height.
 - Fully blocked posts at all floor slabs. Posts floor-to-floor shall be blocked vertically together with HPS372s if not continuous over full height.
 - 2x4x10 HD's Typ. U.N.O.
 - Fasten all U.N.O.s per Manuf. requirements and per sched. on S-1001.
 - (6) ply LVL's shall be fastened with (2) rows of Simpson SDS screws (3'-0" for 8-ply, 6" for 4-ply) at 16" O.C. per S-104.
 - All LVL's to have minimum 2" bracing, U.N.O.
 - Braced wall lines are shown on the plan. See the BWL Worksheet for prescriptive calculations. Panels are described as below or as noted on the plan. Braced Wall Panels = [Symbol]



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DORMER & DECK ADDITION

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FALLS CHURCH, VA 22043

Contractor Information
Urban Cottage
UrbanCottageDesign2018@gmail.com

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1	12-3-22	PRELIM
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3	12-18-22	PERMIT

DATE
12/27/2022

SHEET
STRUCTURAL PLANS

S - 001



305 ROGERS DRIVE
FALLS CHURCH, VA 22042

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DORMER & DECK ADDITION

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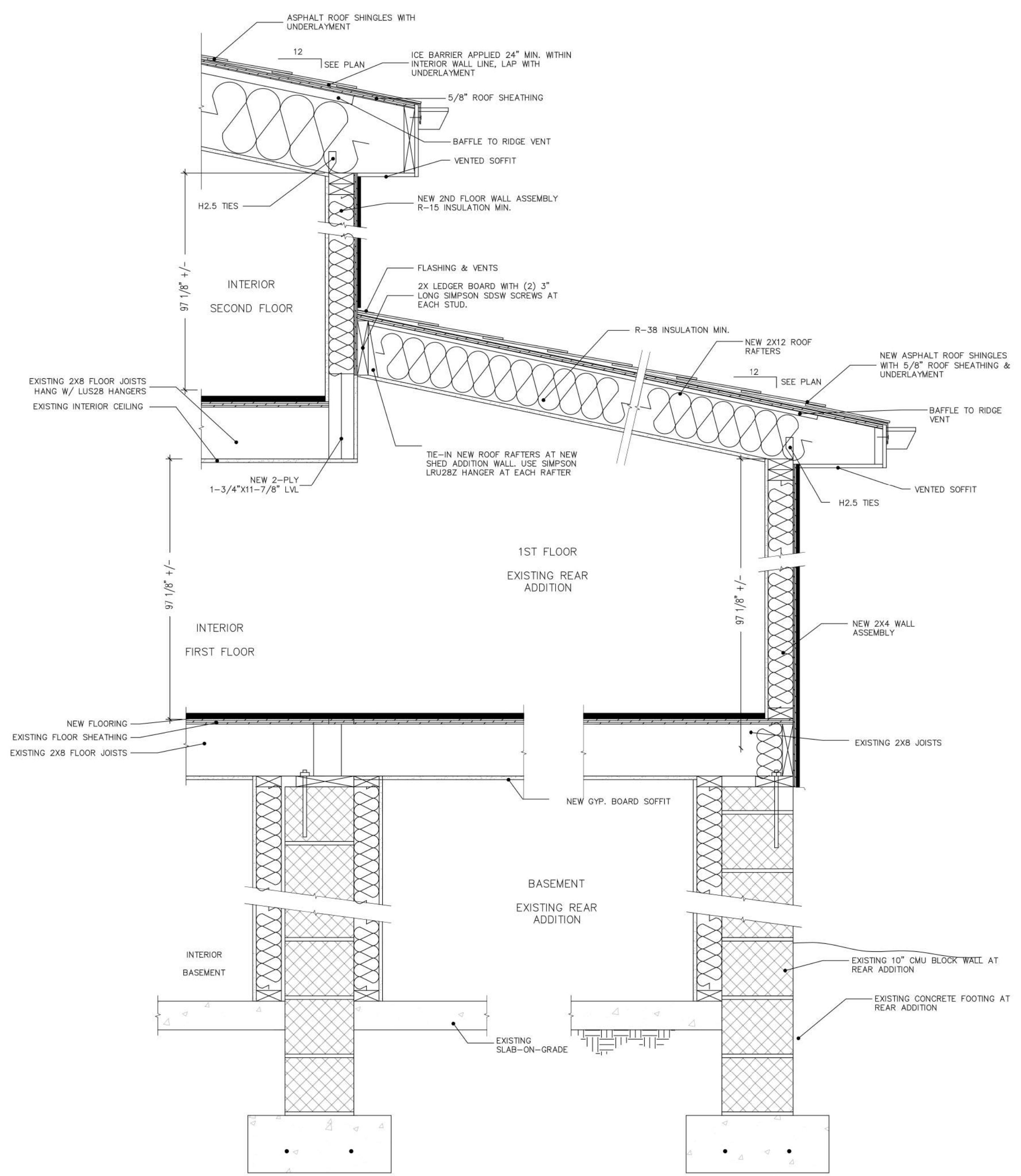
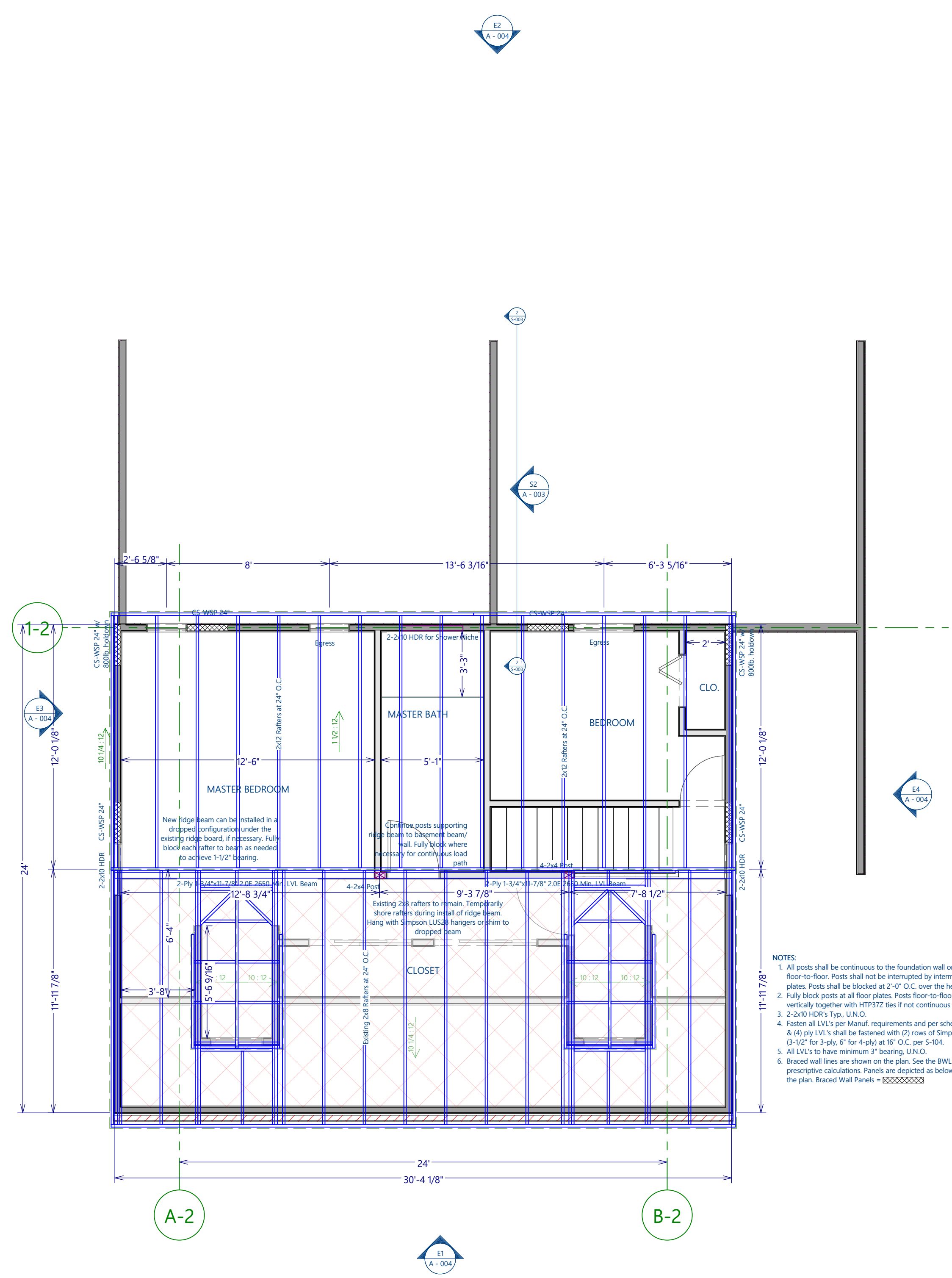
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3	12-18-22	PERMIT

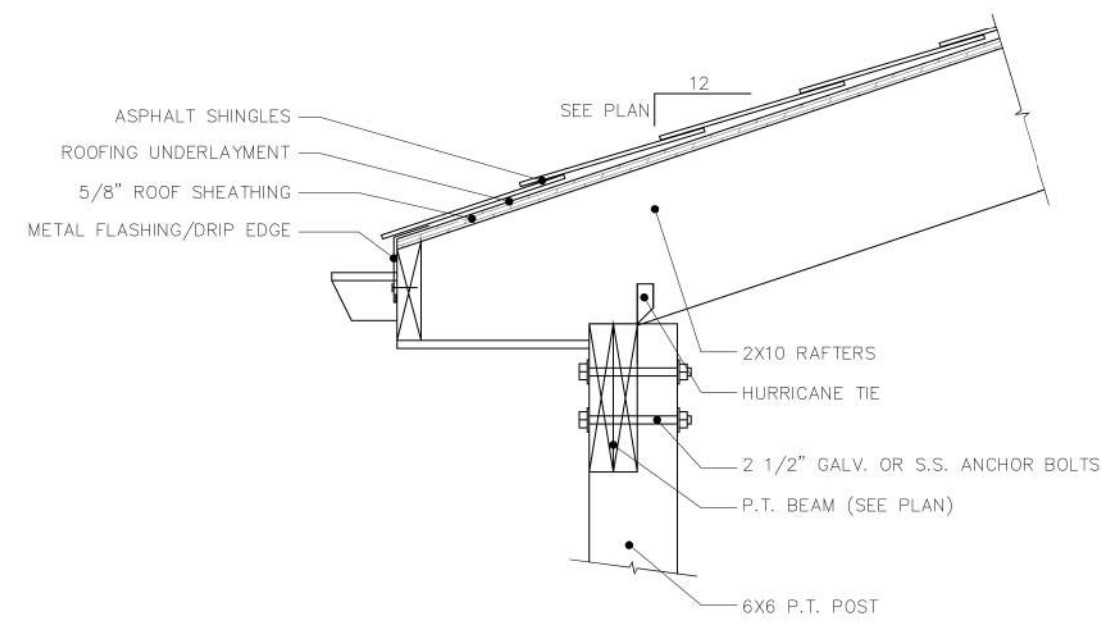
DATE
12/27/2022

SHEET
STRUCTURAL PLANS

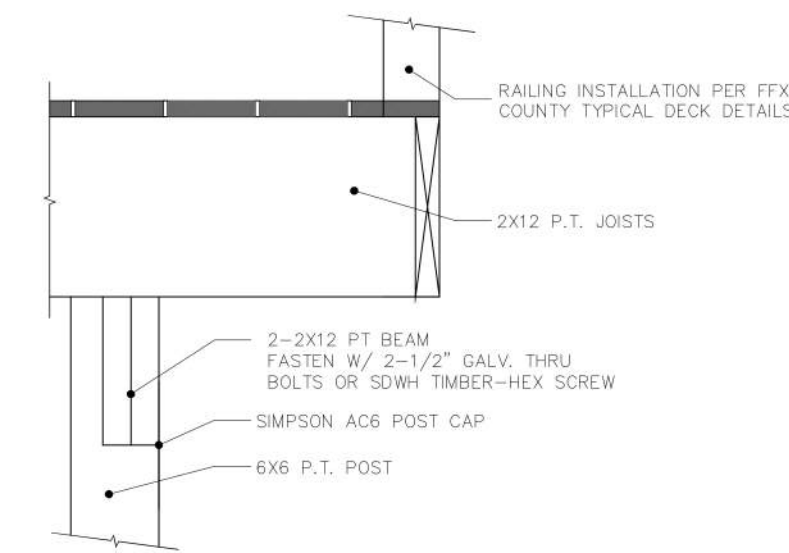
S - 002



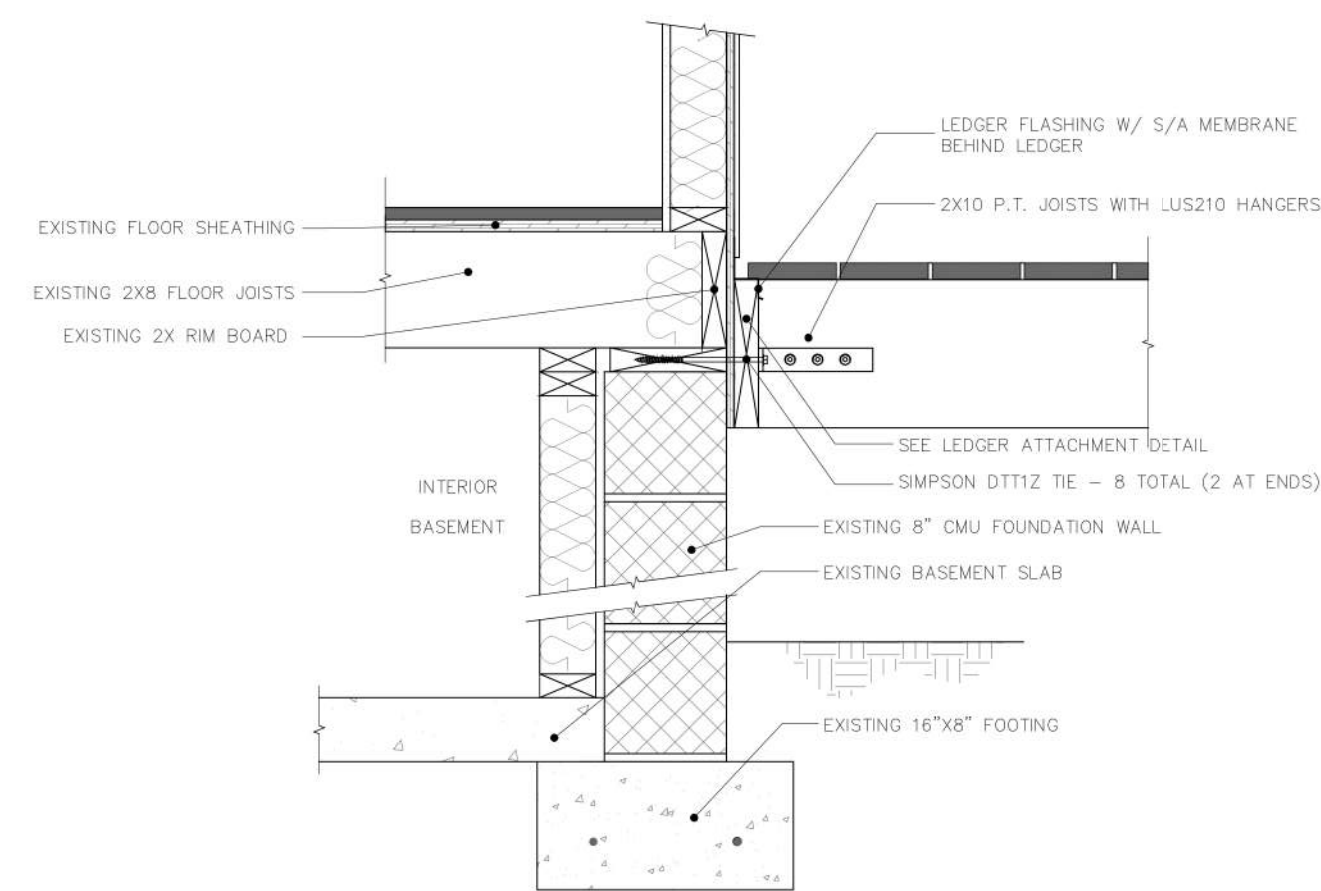
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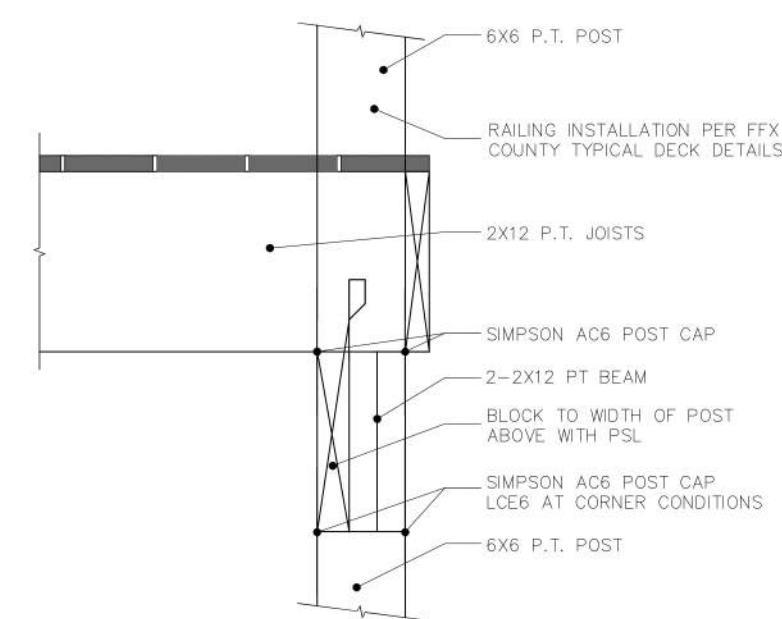
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S - 003 **PORCH ROOF DETAIL**
SCALE: 1" = 1'-0"



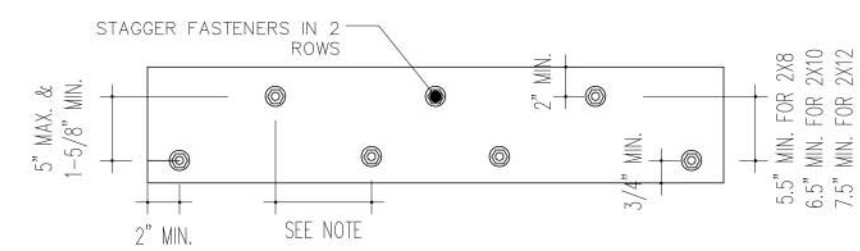
2
S - 003 **DECK EDGE DETAIL**
SCALE: 1" = 1'-0"



5
S - 003 **PORCH & DECK ATTACHMENT**
SCALE: 1" = 1'-0"

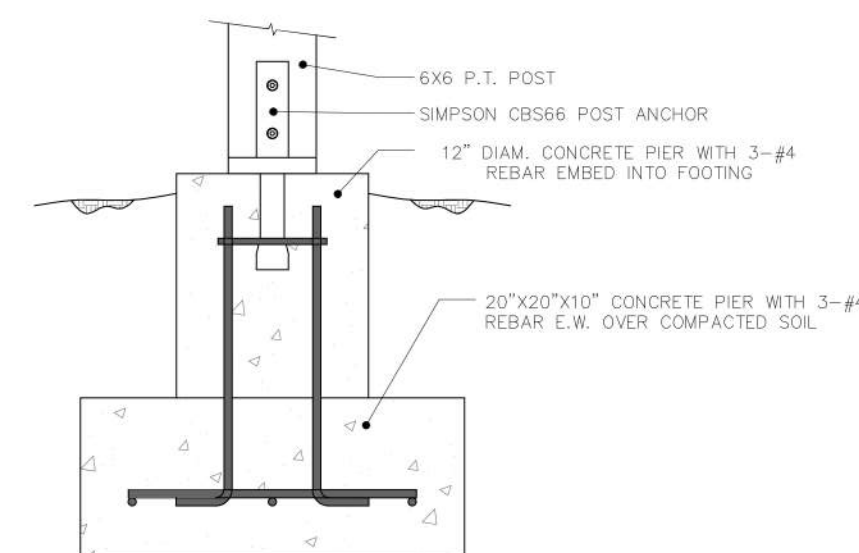


3
S - 003 **PORCH FLOOR DETAIL**
SCALE: 1" = 1'-0"

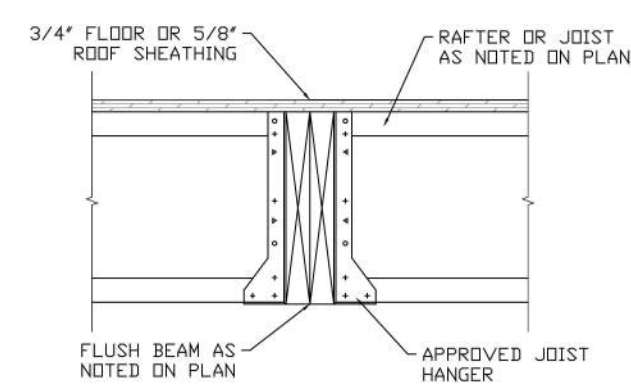


- DECK NOTES:
- FASTENERS SHALL BE 1/2" LAG SCREW, THROUGH-BOLT, ANCHOR WITH WASHER, EXPANSION ANCHOR OR ADHESIVE ANCHOR.
 - LAG SCREW SPACING = 10" O.C. MAX.
 - THROUGH-BOLT SPACING = 10" O.C. MAX.
 - EXPANSION/ADHESIVE ANCHOR SPACING = 16" O.C. MAX.
 - LEDGER SHALL HAVE A MIN. DEPTH OF THE JOISTS BEING SUPPORTED.

S - 003 **LEDGER DETAIL**
SCALE: 1" = 1'-0"



4
S - 003 **FOOTING DETAIL**
SCALE: 1" = 1'-0"



S - 003 **FLUSH BEAM DETAIL**
SCALE: 1" = 1'-0"



305 ROGERS DRIVE
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DORMER & DECK ADDITION

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FALLS CHURCH, VA 22043

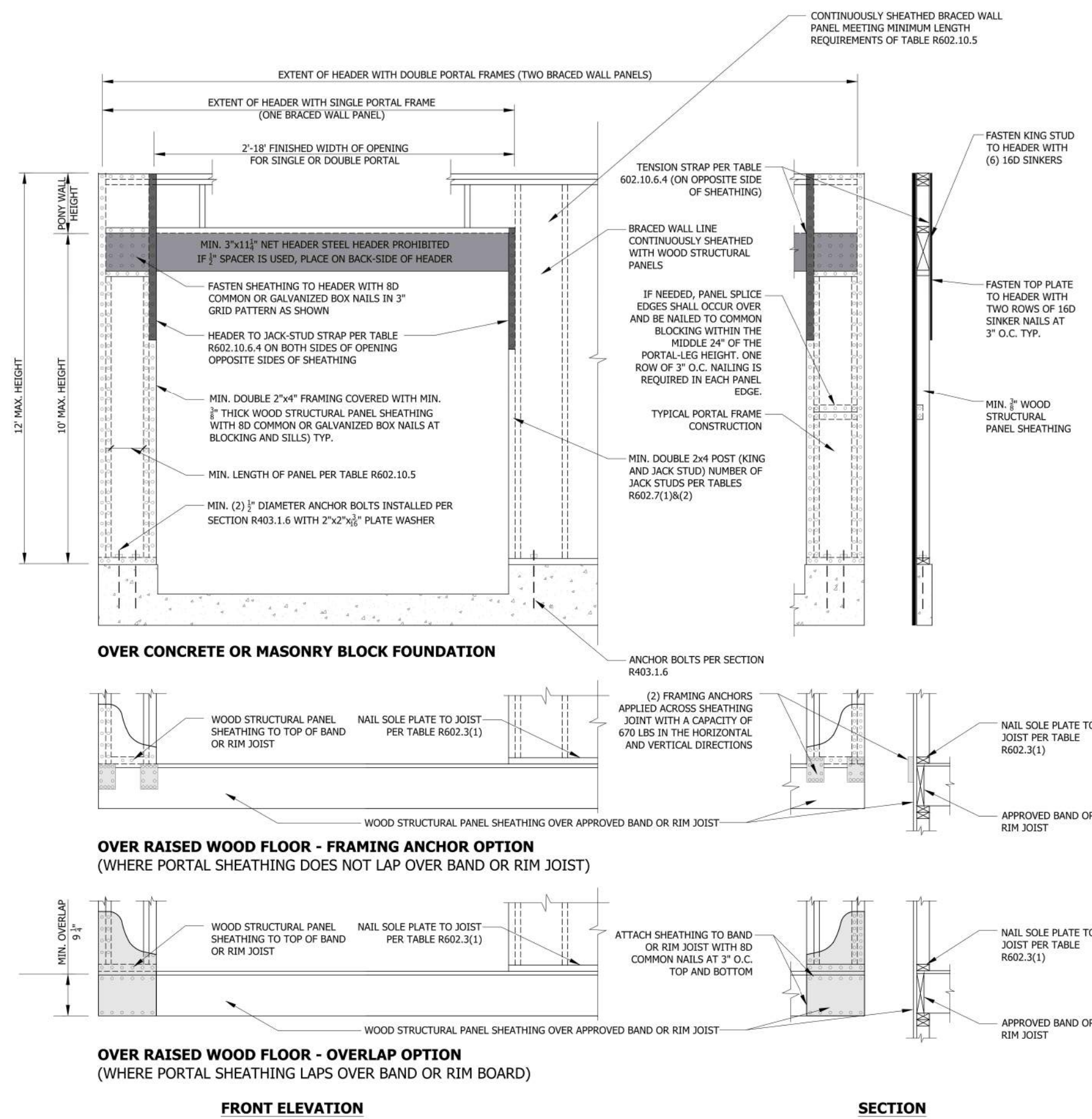
Contractor Information
Urban Cottage
Urbancottagedesign2018@gmail.com

REVISION	DATE	COMMENT
1	12-3-22	PRELIM
2	12-6-22	PRELIM 2
3	12-18-22	PERMIT

DATE
12/27/2022

SHEET
DETAILS

S - 003



WALL BRACING NOTES
 Structure is designed and braced according to the requirements of Section R602.10 of the 2018 Virginia Residential Code.
 Unless otherwise noted, all exterior walls (including areas above and below openings and on gable end walls) are to be braced using the CS-WSP Method, which calls for continuous wood structural panel sheathing with a minimum 3/8" thickness, secured at panel edges with 6d common nails at 6" o.c. and 12" o.c. at intermediate supports (or 16 ga. x 1-3/4" staples at 3" o.c. at panel edges and spaced 6" o.c. at intermediate supports).
 Exterior corner framing shall be in compliance with the detail.
 Lengths of the braced wall panels at corners and adjacent to window and door openings are designed to be in accordance with the minimum dimensions required by Table R602.10.5.
 Where CS-PF is noted on the structural plans, wall panels are to be constructed as "continuous portal frame panels" as per figure R602.10.6.4.
 Where PFH portal frame with hold downs is noted, embed hold down anchors/straps per detail and attach to framing with required nails.
 Where GB gypsum board wall panels are noted, attach 1/2" gypsum board with 5d ring shank x 1-5/8" long nails at 7" o.c., or Type W or S screws at 7" o.c.
 Where LTB let in bracing is noted, use Simpson WB 126 strap with 2-16d nails at each plate and 1-8d nail per stud at 16" o.c., minimum 53 degree angle.
 Where an 800 lb. hold down is noted, it is in lieu of the standard 24" sheathed return panel.
 All other requirements and details contained in the 2018 VRC that are not specifically stated in these notes are also to be followed.

Classic Wall Bracing Worksheet
per 2018 Virginia Residential Code Section R602.10

Ultimate Wind Speed (mph)	115																			
BWL Designation	A-2		B-2				1-2													
No. of Floors above BWL	0		0				0													
BWP Method	CS-WSP		CS-WSP				CS-WSP													
Average BWL Spacing (ft)	24		24				24													
Tabular Requirement (ft)	3.90		3.90				3.90													
Exposure	B		B				B													
Eave-to-Ridge Ht. (ft)	11.00	1.06	11.00	1.06			11.00	1.06												
Max. Wall Ht. (ft)	8.00	0.90	8.00	0.90			8.00	0.90												
No. of BWLs	2		2				2													
Omit Interior Finish?	No		No				No													
Added Hold-downs?	No		No				No													
Joints Blocked?	Yes		Yes				Yes													
Fasteners @ 4' o.c.?	No		No				No													
Required BWP Length (ft)	3.72		3.72				3.72													
Actual BWLs	Contributing Length (ft)	BWP Method	Length	Method	Length	Method	Length	Method	Length	Method	Length	Method	Length	Method	Length	Method	Length	Method	Length	
	1	CS-WSP	2.00	CS-WSP	2.00			CS-WSP	2.00											
	2	CS-WSP	2.00	CS-WSP	2.00			CS-WSP	2.00											
	3																			
	4																			
	5																			
	6																			
7																				
Actual BWP Length (ft)	4.00		4.00				4.00													
Actual ≥ Required?	PASS		PASS				PASS													
BWPs ≤ 20' Apart?	Yes		Yes				Yes													
≥ 2 Panels in BWL?	Yes		Yes				Yes													
BWP 10' from Ends?	Yes		Yes				Yes													
Continuous Sheathing	End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2
End Conditions	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
BWL Compliance	PASS		PASS				PASS													

To report an error or bug, call 703-324-1842, TTY 711
 A Fairfax County, Virginia Publication
 Classic VRC2018 - 7/26/2021

FIRST FLOOR BWL WORKSHEET

FLOOR CEILING FRAMING CONNECTIONS:
 WHERE FRAMING IS PERPENDICULAR TO A BRACED WALL PANEL, A RIM JOIST OR BLOCKING MUST BE PROVIDED ALONG THE LENGTH OF THE BRACED WALL PANEL AS SHOWN IN FIGURE 24. WHERE FRAMING IS PARALLEL TO A BRACED WALL PANEL, A RIM JOIST, FRAMING MEMBER OR BLOCKING MUST BE PROVIDED ALONG THE LENGTH OF THE BRACED WALL PANEL AS SHOWN IN FIGURE 25.

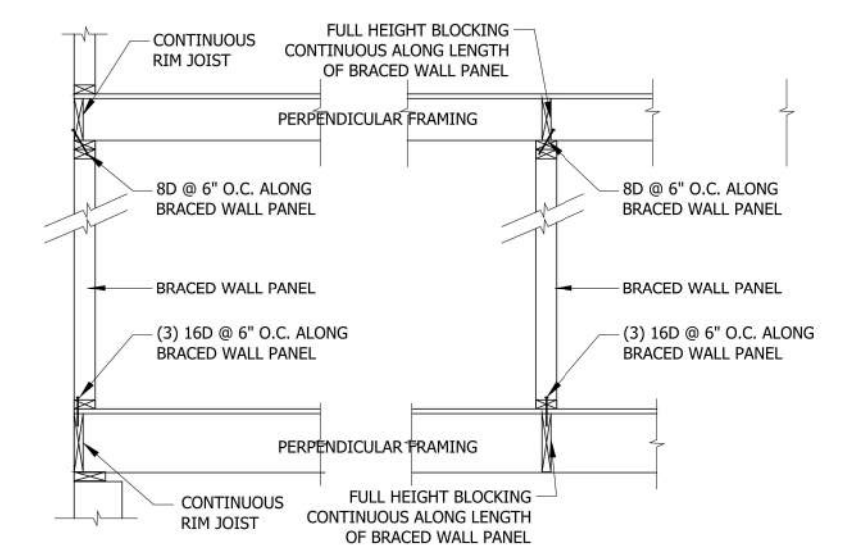
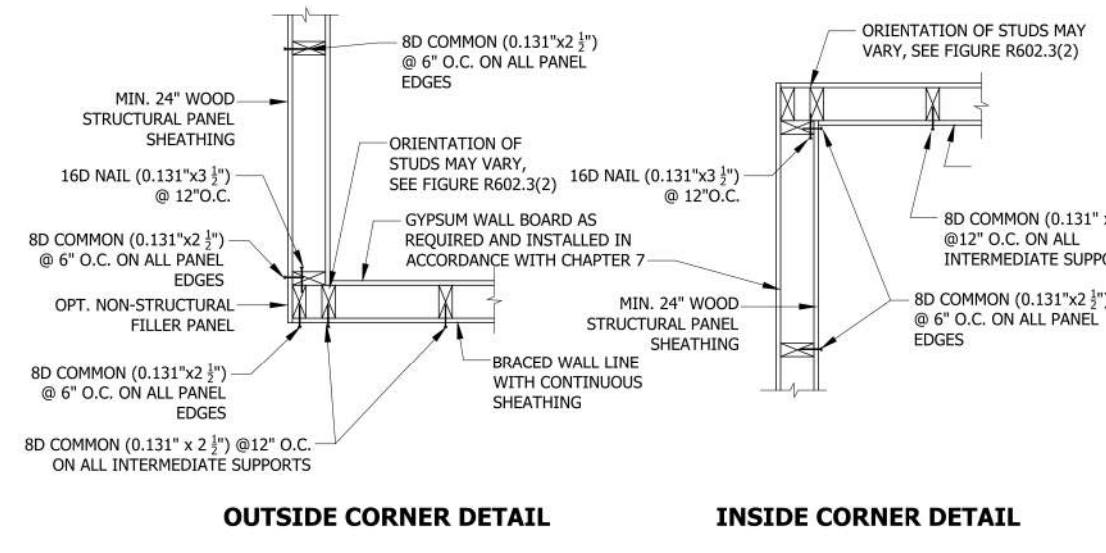
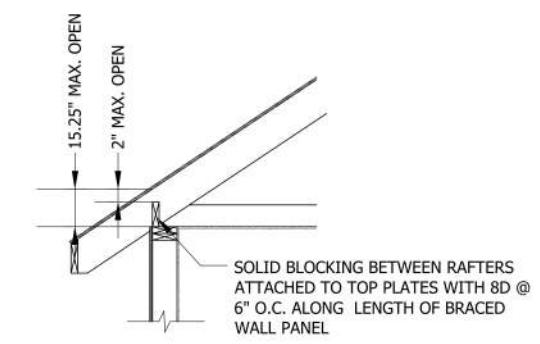


FIGURE 24: BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING



OUTSIDE CORNER DETAIL INSIDE CORNER DETAIL



BRACED WALL PANEL CONNECTION TO PERPENDICULAR RAFTERS

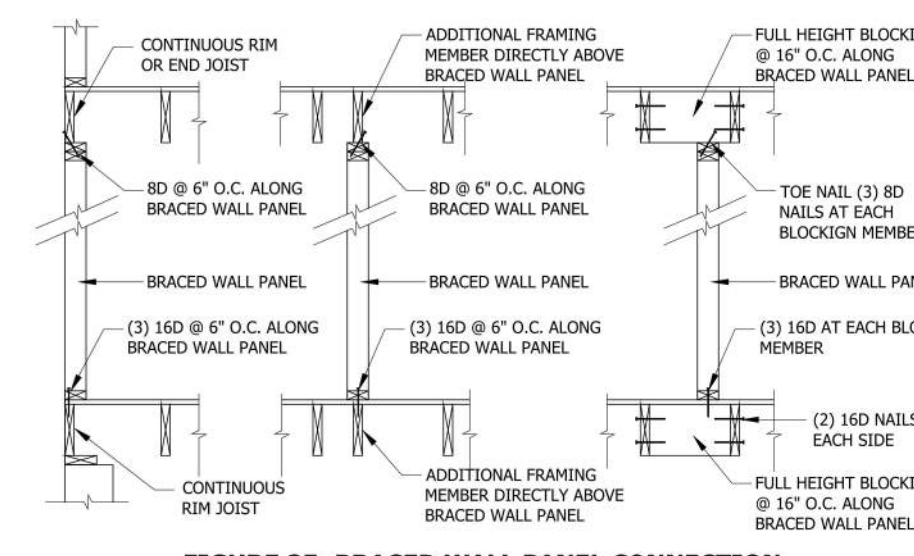


FIGURE 25: BRACED WALL PANEL CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING



IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT/ENGINEER TO ALTER THIS DRAWING IN ANY WAY. ALTERATIONS MUST HAVE THE SEAL AFFIXED ALONG WITH A DESCRIPTION OF THE ALTERATION, THE SIGNATURE AND DATE.



DORMER & DECK ADDITION

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Contractor Information
Urban Cottage
Urbancottagedesign2018@gmail.com

REVISION	DATE	COMMENT
1	12-3-22	PRELIM
2	12-6-22	PRELIM 2
3	12-18-22	PERMIT

DATE
12/27/2022

SHEET
BRACED WALL DETAILS

